SECTION 1

PRELIMINARIES

SPECIAL NOTES

- The Contractor is required to check the numbers of the pages and should any be found to be missing or in duplicate or the figures or writing indistinct, they must inform the Quantity Surveyors at once and have the same rectified. Should the Contractor be in doubt about the precise meaning of any item, word or figure, for any reason whatsoever, or observe any apparent omission of words or figures they must inform the Quantity Surveyor in order that the correct meaning may be decided upon before the date for the submission of the Tender.
- No liability whatever will be admitted nor claim allowed in respect of errors in the Contractor's Tender due to mistakes in the Bills of Quantities which should have been rectified in the manner described above.
- Any doubt or obscurity as to the meaning or intention of any part of the tender documents, or any question arising, shall be taken up in writing, before submission of the tender so that the same can be clarified.
- The Contractor shall not alter or otherwise qualify the text of these Bills of Quantities. Any alteration or qualification made without authority will be ignored and the text of the Bills of Quantities as printed will be adhered to.
- The Contractor shall be deemed to have made allowance in their prices generally to cover items of Preliminaries or additions to Prime Cost Sums or other items, if these have not been priced against the respective items.
- 6 All items of measured work shall be priced in detail and tenders containing lump sums to cover trades or groups of work must be broken down to show prices for each item before they will be accepted. Lump sums to cover items of Preliminaries shall likewise be broken down if so required.
- 7 In no case will any expenses incurred by Contractors in preparation of this Tender be reimbursed.
- **8** The copyright of these Bills of Quantities is vested in the Quantity Surveyors and no part thereof may be reproduced without their express permission given in writing.
- The Contractor is solely responsible for the accurate ordering of materials in accordance with the Drawings and Architect's instructions and no claims for any loss or expense will be entertained for orders for materials based upon the Bills of Quantities.
- **10** The Bills of Quantities must be priced in US Dollar currency, i.e. US Dollars and Cents.
- 11 The tender documents must be priced in ink.

INDEX

SECTION NO. 1 PRELIMINARIES AND GENERAL DESCRIPTIONS

SECTION NO. 2 Main Building
SECTION NO. 4 FENCE WALL

SECTION NO. 7 GRAND SUMMARY

		11
ITEM	DESCRIPTION	AMOUNT (US\$)
	SECTION NO. 1	
	PRELIMINARIES AND GENERAL DESCRIPTIONS	
_	PRELIMINARY PARTICULARS	
A	PARTIES	
	The "Employer" is INTERNATIONAL ORGANIZATION FOR MIGRATION	
	For the purpose of the works which are under the control of the consultants above, the respective consultants shall be deemed to be invested with the duties and be representatives of the Architect.	
В	SITE	
	The site is located on GARBAHAREY DISTRICT	
	The site of the works shall be used solely for the purpose of executing and completing the Contract to the satisfaction of the Architect.	
	The Contractor shall obtain the Architect's approval for the siting of all temporary storage areas for materials.	
	The Contractors shall visit the site to acquaint themselves with its nature and position, the nature of the ground, sub- strata and other local conditions, position of power and water supplies, access roads or any other limitations, and no claims for extras will be considered on account of lack of knowledge in this respect.	
	The Contractor's attention is drawn to the fact that they shall confine themselves to the area necessary for executing the works as instructed by the Architect.	
	The contractor must obtain the Architect's approval and directions regarding the use of any materials found on the Site. Any such material utilized in the execution of the Contract shall be measured and value assessed by the Quantity Surveyor and the amount credited to the Employer.	
	Carried To Collection US\$	
	GENERAL MATTERS	

A SUFFICIENCY OF TENDER

The Contractor shall be deemed to have satisfied themselves before tendering as to the correctness and sufficiency of their Tender for the Works and of the rates and prices stated in the priced Bills of Quantities, which rates and prices shall cover all their obligations under the Contract and all matters and things necessary for the proper completion and maintenance of the Works.

B STAMP CHARGES

The Contractor shall allow for the payment of all Stamp Charges in connection with the Surety Bond and Contract Agreement.

C DEFINITIONS AND ABBREVIATIONS

Terms used in these Bills of Quantities shall be interpreted as follows:

"Approved" shall mean approved by the Architect.

"as directed" shall mean as directed by the Architect or any other consultant in the contract.

"BS" Shall mean the current British Standard Specification published by the British

Standards Institution, 2 Park Street, London W.1, England.

"CM" shall mean Cubic Meters.

"SM" shall mean Square Meters.

"LM" shall mean Linear Meters.

"mm" shall mean Millimeters.

"Kg" shall mean Kilograms.

"No." shall mean Number.

"m.s" shall mean Measured separately.

"Ditto " shall mean as described before or as above described.

D PROGRESS SCHEDULE

The Contractor shall, upon receiving instructions to proceed with the work, draw up a Time and Progress Schedule setting out the order in which the Works are to be carried out with the appropriate dates thereof. This Time and Progress Schedule is to be agreed with the Architect and no deviation from the order set out in this Schedule will be permitted without the written consent of the Architect. The Main Contractor will be responsible for arranging the above programme with all Sub-Contractors including the Nominated Sub-Contractors and Nominated Suppliers.

E FIGURED DIMENSIONS

Figured dimensions are to be followed in preference to dimensions scaled from the Drawings; but whenever possible dimensions are to be taken on the Site or from the Buildings. Before any work is commenced by Sub-Contractors or Specialist Firms, dimensions must be checked on the Site and/or buildings and agreed with the Contractor, irrespective of the comparable dimensions shown on the Drawings. The Contractor shall be responsible for the accuracy of such dimensions.

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A PROVISIONAL WORK

All "provisional" and other work liable to adjustment under this Contract shall be left uncovered

for a reasonable time to allow all measurements needed for such adjustment to be taken by the Quantity Surveyor. Immediately the work is ready for measurement, the Contractor shall give notice to the Quantity Surveyor.

If the Contractor makes default in these respects he shall, if the Architect so directs, uncover the work at his own expense to enable the measurements to be taken.

B EXISTING SERVICES

Prior to commencement of any work the Contractor is to ascertain from the relevant Authorities the exact position, depth and level of all existing electric cables, water pipes or other services in the area and they shall make whatever provisions may be required by the Authorities concerned for the support and protection of such services. Any damage or disturbance caused to any services shall be reported immediately to the Architect and the relevant Authority and shall be made good to their satisfaction at the Contractor's expense.

C TRANSPORT TO AND FROM THE SITE

The Contractor shall include in their prices for the transport of materials, workmen, etc., to and from the Site of the proposed Works, at such hours and by such routes as are permitted by the Authorities.

D OVERTIME

The Contractor shall allow in their tender for any extra costs for overtime working they consider will be necessary in order to complete the works by the contract Date of Completion.

If during the course of the Contract overtime is worked for a specific purpose in accordance with a written instruction issued by the Architect, the Contractor will be reimbursed in respect of such overtime to the extent only of the additional net cost of unproductive time payable over and above the basic hourly rates as laid down by the Regulations of Wages and Conditions of Employment Act, Building and Construction Industry Wages council and excluding any bonuses, profits and overheads.

E PUBLIC AND PRIVATE ROADS, PAVEMENTS, ETC.

The Contractor will be required to make good, at their own expense, any damage they may cause to the present road surfaces and pavements within or beyond the boundary of the Site, during the period of the Works. In particular, all existing trees, shrubs, plants, etc., which may be destroyed or damaged during the progress of the Works are to be made good by the Contractor to the approval of the Architect.

F POLICE REGULATIONS

The Contractor is to allow for complying with all instructions and regulations of the Police Authorities.

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A CONTRACTORS' SUPERINTENDENCE

The Contractor shall constantly keep on the Works a literate English-speaking Agent or Representative, competent and experienced in the kind of work involved, who shall give his whole time to the superintendence of the Works. Such Agent or Representative shall receive on behalf of the Contractor, directions and instructions from the Architect and such directions and instructions shall be deemed given to the Contractor in accordance with the Conditions of Contract. The Agent shall not be replaced without the specific approval of the Architect.

It is to be a specific condition of this Contract that the successful Tenderer shall provide on site throughout the period from the completion of the substructure to the Date for Practical Completion a suitably qualified, experienced and competent person to ensure that the works are carried out to the standard required by the specification and detailed on the Drawings; and shall ensure that upon any termination of employment a suitable replacement is found.

Before the Tenderer's offer is accepted the Architect will personally interview the Contractor's proposed Representative. A curriculum vitae of past experience and qualifications must be

provided for the Architect's scrutiny.

The Architect's decision will be final regarding the suitability of the proposed Representative.

B WATER

All water shall be fresh, clean and pure, free from earthy vegetable or organic matter, acid or alkaline substance in solution or suspension.

The Contractor shall provide at their own risk and cost all water for use in connection with the Works (including the work of Sub-Contractors). The Contractor shall provide at their own expense all temporary distribution pipes, storage tanks, meters, etc., and they shall clear away same upon completion of the Works.

C LIGHTING AND POWER

The Contractor shall provide at their own risk and cost all artificial lighting and power for use on the Works, including all Sub-Contractors' and Specialists' requirements and including all temporary connections, wiring, fittings, etc., and clearing away on completion. The Contractor shall pay all fees and obtain all permits in connection therewith.

D SAFETY

In particular there shall be proper provision of planked footways and guard-rails to scaffolding, etc.; protection against falling materials and tools and the Site shall be kept tidy and clear of dangerous rubbish.

The Architect shall be empowered to suspend work on the Site should he consider these conditions are not being observed, and no claim arising from such a suspension will be allowed.

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A PROTECTIVE CLOTHING

The Contractor shall provide all protective or any other special clothing or equipment for their employees that may be necessary.

These shall include, inter-alia, safety helmets, gloves, goggles, earmuffs, gumboots, steel toed boots, overalls, etc according to the type of work. The Contractor shall ensure that all safety and protective gear are worn by all staff on site at all times

MATERIALS AND WORKMANSHIP

B GENERALLY

All materials shall be new unless otherwise directed or permitted by the Architect and in all cases where the quality of goods or materials is not described or otherwise specified, is to be the best quality obtainable in the ordinary meaning of the word "best" and not merely a trade signification of that word.

All materials and workmanship shall, unless otherwise specified or described, conform to the appropriate Kenya Bureau of Standards or British Standards Institution Specification current at the date of tender.

The Contractor shall order all materials to be obtained from overseas immediately after the Contract is signed and shall also order materials to be obtained from local sources as early as necessary to ensure that such materials are on Site when required for use in the Works.

The Contractor shall be responsible for and shall replace or make good at their own expense any materials lost or damaged.

The Works throughout shall be executed by skilled workmen well versed in their respective trades.

C REJECTED WORKMANSHIP OR MATERIALS

Any workmanship or materials not complying with the specific requirements or approved samples or which have been damaged, contaminated or have deteriorated, must immediately be removed from the Site and replaced at the Contractor's expense, as required.

PROPRIETARY MATERIALS

Where proprietary materials are specified herein-after the Contractor may propose the use of materials of other manufacture but equal quality for approval by the Architect.

All materials and goods, where specified to be obtained from a particular manufacturer or supplier are to be used or fixed strictly in accordance with their instructions.

SAMPLES

The Contractor shall furnish at the earliest possible opportunity before work commences and at his own cost, any samples of materials or workman-ship that may be called for by the Architect for his approval or rejection, and any further samples in the case of rejection until such samples are approved by the Architect and such samples, when approved, shall be the minimum standard for the work to which they apply.

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A CONCRETE TESTS

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Concrete test cubes I.e. per set of three as later described, including testing fees, labour and materials, making moulds, transport and handling etc.. and ensuing copies of tests are promptly dispatched to the Architect's and Quantity Surveyor's offices. Successful tests only (Provisional)

TEMPORARY WORKS

B SPACE AND SERVICES FOR THE ARCHITECT

The Contractor shall provide where directed within the site, site offices and clean toilet facilities for the sole use of the Architect and their representatives to the satisfaction of the Local Authorities. The offices shall be provided with adequate furniture and the contractor shall provide the services of a sweeper, pay all charges and keep the facilities in a clean and sanitary condition during the whole period of the Works. In particular, the Contractor is to note that the station will continue with operations during the period of the works and a separate office and store shall be provided for full time use by the station dealer. Equally, separate sanitary amenities shall be provided for the station staff to the satisfaction of the Architect and local authorities.

C TELEPHONE

The Contractor shall provide a telephone connection to the town exchange for the period of the Works, and shall pay all fees and rental for the same. The telephone connection shall remain on site until completion of the works.

D SANITATION

The Contractor shall make arrangements for the necessary toilet facilities for their staff and workmen to the requirements and satisfaction of the Health authorities and maintain the same in a thoroughly clean and sanitary condition and pay all conservancy fees during the period of the Works and remove when no longer required.

E PLANT, TOOLS AND SCAFFOLDING

The Contractor shall provide all necessary hoists, tackle, plant, vehicles, tools and appliances of on every description for the due and satisfactory completion of the Works and shall remove same completion.

The Contractor shall provide, erect and maintain all temporary scaffolding, sufficiently strong and efficient for the due performance of the Works, including Sub-contract Works, provide special scaffolding as and when required during the Works and remove on completion and make good. Such scaffolding shall be constructed of tubular steel or timber of sufficient scantlings and be provided with planked footways and guard-rails to approval. All such plant, tools and scaffolding shall comply with all regulations whether general or local, in force throughout the period of the Contract and shall be altered or adapted during the Contract as may be necessary to comply with any amendments in or additions to such regulations. Scaffolding is not measured hereinafter, and the Contractor must allow here or in his rates for the above. **Carried To Collection** US\$ **EXISTING AND ADJACENT PROPERTY** The Contractor must take all steps necessary to safeguard existing and adjacent property, make good at their own expense any damage to persons or property caused thereon, and hold the Employer indemnified against any such claim arising. The Contractor will be held fully responsible for the safety of the existing and adjacent buildings and for any damage caused in consequence of these Works. They must reinstate all damages at his own expense and indemnify the Employer against any loss. The Contractor must take such steps and exercise such care and diligence as to minimize nuisance from dust, noise or any other cause to the occupiers of the existing and adjacent property. **HOARDING** The Contractor shall enclose the site areas under which work is carried out, with 1.80 meter high barbed wire fence comprising treated blue gum poles at centres not exceeding 3.0meters and 6No barbed wire strands at equal spacing The contractors attention is drawn to the fact that some areas of the site are already built up and shall be in use during the currency of this project. As such the contractor must allow for keeping his/her employees from interfering with such other users and preventing and minimizing any nuisance arising from dust, noise or by way of trespass. Allow for Provisional length of 100 meters @ (tenderer to insert rate and extend) WATCHING AND LIGHTING The Contractor shall provide at their risk and cost all watching and lighting as necessary to safeguard the Works, plant and materials against damage and theft. **SIGNBOARD** The Signboard and lettering on same for the display of the General and Sub-Contractors' names shall be of an approved size with the Employer's name painted thereon. The Architect's Quantity Surveyor's and other Consultants' names shall be printed in 50 mm letters all to the Architect's approved design. No other signboard or advertising will be permitted without prior permission from the Architect. **Carried To Collection** US\$

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В

В

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PRIME COST RATES

Where description of items include a P.C. rate per unit this rate is to cover the net supply cost of the unit only. The Contractor's price must include for the cost of the unit at the rate stated, plus waste, taking delivery, storage, fixing in position, profit and overheads.

The actual net cost per unit will be adjusted within the Final Account against the P.C. rate stated.

PROTECTION AND CLEANING

B PROTECTION

The Contractor shall cover up and protect from damage, including damage from inclement weather, all finished work and unfixed materials, including that of Sub-Contractors, etc., to the satisfaction of the Architect until the completion of the Contract.

C CLEANING

The Contractor shall, upon completion of the Works, at their own expense, remove and clear away all surplus excavated materials, plant, rubbish and unused materials and shall leave the whole of the Site and Works in a clean and tidy state to the satisfaction of the Architect, including clearing away and making good all traces of temporary access roads, offices, sheds, camps, etc. Particular care shall be taken to leave clean all floors and windows and to remove all paint and cement stains. They shall also, at the discretion of the Architect, remove all rubbish and dirt as it accumulates. The Contractor is to find their own dump and shall pay all charges in connection therewith.

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TOTAL FOR SECTION 1: PRELIMINARIES AND GENERAL

US\$

Item	Description of Work/Items	Unit	Quantity	Rate	Amount
	PROPOSED MARKA SCHOOL REHABILITATION BOQ				
	MARKA TOWN - SOUTHWEST STATE				
	SECTION 2: CLASSROOMS				
	ELEMENT NO.1 GENERALS				
A	Pre-construction work, mobilisation activities	LS	1		
В	Post construction works and clean up.	LS	1		
	Sub-Total carried to summary				
	ELEMENT NO.2 DEMOLITIONS AND ALTERATIONS (All the site)				
A	Repair the wall cracks using sand/cement mortar mix ratio 1:4 and Y12 steel bars inserted into the wall perpendicular to the cracks for internal and external	lm	1		
В	Hack and demolish existing old plastering internal and external walls and cart away debris	m ²	1332		
С	Demolish existing hollow block wall above the old existing roof	lm	1		
D	Demolish existing main Entrance roof structure	sm	134		
Е	Cart away as drected	lm	1		
	Sub-Total carried to summary				
	ELEMENT NO.3 WALLING WALLING				
	RUBBLE STONE FOR ABOVE THE EXISTING FINAL BEAM				
	400mm thick natural stone rubble stone bedded and jointed in cement and sand (1:4) mortar, compacted and laid in stages of				
A	100mm 400mm thick superstructural walling	m ³	94		
	Toomin then superstructural wanning	III	24		
	200x400mm hollow block walling bedded and jointed in cement and sand (1:4) mortar, reinforcement with and including 25mm wide x 20 gauge hoop iron at every alternate course as described in:				
В	200mm thick superstructure walling including Veranda walling	m ²	333		
	ACCESSORIES/SUNDRY ITEMS FOR BLOCK WALLING				
С	Damp proof courses on surfaces not exceeding 200 mm wide	LM	333		
ű	Sub-Total for Walling	21.1	333		
	Element No.4 Concrete work				
	Concrete work				
A	Final tie beam	CM	27		
В	10cm thick RCC Slab above the main Entrance	CM	14		
	<u>Reinforcements</u>				
	High tensile, square twisted bar reinforcement to BS 4461; :				
	including bends, hooks, tying wire, distance blocks and spacers				
С	8mm Bars	lm	1082		
D	10mm Bars	lm	2205		
E	Sawn formwork to: Sides of the final tie beam and the Entrance roof slab	SM	266		
E	Flooring	ا۱۱۷	200		
F	Hack and demolish existing floor finishes on including cement/sand screed and cart away debris	m ²	760		
	cement and sand (1:3) screed, backing, beds etc				
G	20mm bed finished to receive Non-slip ceramic floor tiles (m.s)	m ²	760		
Н	Non-slip ceramic floor tile 300X300 x 8mm thick coloured Ceramic Tiles laid to pattern and	m ²	760		
I	shape	ml	182		
1	100 x 20mm skirting	1111	104		

	Sub-Total carried to summary			
	Element No.5 DOORS			
A	Remove defective timber doors and store	each	13	
A		eacii	13	
	45mm thick solid core flush door to B.S 459: parts faced both sides with 6mm mahogany veneered plywood and lipped on all edges in hardwood, including all planted moulding. Complete with hinges and locks			
В	50mm thick door overall size 1200x2150mm high	each	13	
С	Supply and fix double leaf steel gate size 4000x 2100mm high with small pedestrian door made from 3mm thick steel plate welded on both sides of the frame. Frame as follows: 75x50x3mm thick RHS external members and 25mm SHS 3mm thick secondary members, fixed onto the concrete columns using heavy duty steel pin hinges; with all fastening accessories including all cutting welding, grinding and priming with one coat of grey oxide before fixing. The gate should also have peep holes of not more that 25mm dia with a slilding door. It should also have 2 locking mechanisms, top and bottom.	each	1	
	Sub-Total carried to summary			
	supply and install aluminium casement windows complete with opening accessories and permanent vents for the full width of window as detailed including cuMBng and 4mm thick toughened glazing fixing lugs to wood frame and pointing all round frames			
A	Window size 1500x1000mm high	each	18	
	Sub-Total carried to summary Element No.7 ROOFING			
A	Carefully remove the existing roof cover including fascia board, gutter and downpipes and any damaged trusses and purlins, cart away debris make good disturbed surface to recive a new roof.	m ²	680	
	Corrugated Cement profiled roof sheets as manufactured by Mabati Rolling mills Ltd or other equal & approved, including selfdrilling screws fixed to timber purlins of rafters Reinstall Roof covering not exceeding 35 degrees from the			
В	horizontal including all necessary fixtures use rafters with 100 x 50mm, for tie beam use 150 x 50mm, purlins 75 x 50mm including rag bolted with bar	m ²	680	
С	200 mm x 10 mm white gloss uPVC Fascia board	m	680	
	Rain water goods			
D	115 mm uPVC square gutter fixed to fascia boards with and including approved brackets at 500 mm centres	m	136	
Е	Extra over gutter for stopped ends	each	2	
F	Ditto but for 100 mm diameter outlet	each	2	
	<u>Downpipe</u>			
G	100 mm diameter uPVC downpipe fixed to wall with and including holder butts at 500 mm centres	m	48	
Н	Extra over downpipe for swanneck 1,200 mm long	each	1	
	Sub-Total carried to summary			
	Element No.8 CEILING			
A	Carefully remove damaged ceiling section and cart away the arising debris make good disturbed surfaces to receive new ceiling	m ²	680	
В	Supply & fix 6mm thick chipboard ceiling boards including original color including verandah	m^2	680	

	Sub-Total carried to summary				
	ELEMENT NO.9 FINISHES				
	PLASTERING				
	12mm cement sand plaster, with steel trowelled finish, as				
	described to:-				
	Internal and External Sides of hallow block walls and concrete				
A	surfaces	sm	2664		
	Allow for PCC vents				
	allow fix and install pcc vent for decoration of verandah, also above				
В	· · · · · · · · · · · · · · · · · · ·	sm	20		
	doors, window etc. as per drawing with upper copping				
	ELECTRICAL INSTALLATION AND SERVICES				
	<u>Lighting Fittings</u>				
	Supply and install following lighting fixtures with all				
	accessories as per the specifications and drawings and				
	complete with lamp fitting and accessories of Engineer or				
	approved make.				
Α	Type 4S - 4x18w surface mount flourescent light fitting	No	24		
С	150W LED floodlight	No	5		
	Switches				
D	5 Amps one gang one way switch	No	6		
E	5 Amps two gang one way switch	No	12		
ы	Socket outlets	110	14		
	JULKEL UUUELS				
	Cumply and installation of freed shuttons 3				
	Supply and installation of fused shuttered switched socket				
	outlet to comply with relevant BS standard (Clipsal, Orange,				
	Crabtree/ Tenby/ABB or equivalent). Wiring (including supply				
	of earth wire and all other material required) of above socket				
	outlet using approved type 2.5mm ² PVC/PVC copper cable and				
	2.5mm ² earth wire drawn through securely fixed concealed				
	PVC conduit in a ring circuit. Socket outlet points				
F	13 A twin sockets outlet	each	20		
	Cables, Cable pathways and Conduits				
	Supply install test and commission AED /TED walks (ADAY				
	Supply, install, test and commission 450/750 volts 6491X				
	cables with all required accessories for proper installation and				
	operation including conduits, pipes(each cable in separate				
	conduit or pipe), cable lugs, ties etc. as shown on drawing, as				
	per the preamble, the specifications and supervision engineer's				
	requirements.				
	Supply, install and connect complete 1.5 sq. mm colour-coded SC				
	cables to lighting points drawn in Concealed /surface 20mm HG PVC				
G	conduits, complete with draw boxes, switch boxes and other	M	350		
	necessary accessories.				
	necessary accessories.				
	Supply and install two compartment floor recessed metallic				
Н	electrical floor box with flap cover complete with lifting handle,	No	1		
	cable cable flaps, as Crabtree Britmac or equal and approved	-			
I	3 speed box fan with 20 inch blades	No	10		
	Water Tank				
NI	Elevated rcc structure and Plastic water tank 2000litre with it is pipe	1.5	1		
N	connections as per the site engineer approval	LS	1		
	Final cleaning inside /outside and area surrounding the site and land				
0	scaping	lm	1		
	Sub-Total carried to summary				
	·				
	ELEMENT NO.10 PAINTING				
	Prepare and apply one undercoat and two finishing coatsfirst grade plastic				
	emulsion paint as silk vinyl to:-				
	Internal and External Sides of hallow block walls and concrete surfaces	m2	2664		
	Cub Tabel cowied to suppress				
	Sub-Total carried to summary				
	Description of Work/Items	· · ·		.	I
tem	SUMMARY OF COMPONENT	Unit	Qntty	Rate	Amnt USI
LEIII	Currency:				
Lem	<u> </u>			I	
Lem	Project No:				
Lem	<u> </u>				
	Project No:				

	Tender Title:			
	Original Issue:			
	ELEMENT NO.1 GENERALS		\$	-
	ELEMENT NO.2 DEMOLITIONS AND ALTERATIONS (All the site)		\$	-
1	ELEMENT NO.3 WALLING		\$ •	-
2	Element No.4 Concrete work		\$	-
3	Element No.5 DOORS		\$	-
4	Element No.6 WINDOWS		\$	-
	Element No.7 ROOFING		\$	-
6	Element No.8 CEILING		\$	-
7	ELEMENT NO.9 FINISHES		\$	-
	ELEMENT NO.10 PAINTING		\$	-
8	Grand Total		\$	-
		_		

ltem	Description of Work/Items	Unit	Quanti ty
	PROPOSED MARKA SCHOOL REHABILITATION BOQ		
	MARKA TOWN - SOUTHWEST STATE		
	SECTION 3: CAFETERIA		
	ELEMENT NO.1 GENERALS		
Α	Pre-construction work, mobilisation activities	LS	1
В	Post construction works and clean up.	LS	1
	Sub-Total carried to summary ELEMENT NO 2 DEMOLITIONS AND ALTERATIONS (All the gite)		1
	ELEMENT NO.2 DEMOLITIONS AND ALTERATIONS (All the site) Repair the wall cracks using sand/cement mortar mix ratio 1:4 and		
A	Y12 steel bars inserted into the wall perpendicular to the cracks for internal and external	lm	1
В	Hack and demolish existing old plastering internal and external walls and cart away debris	m ²	512
С	Demolish existing hollow block wall above the old existing roof	lm	1
Е	Cart away as drected	lm	1
	Sub-Total carried to summary		
	ELEMENT NO.3 WALLING		
	WALLING		
	RUBBLE STONE FOR ABOVE THE EXISTING FINAL BEAM 400mm thick natural stone rubble stone bedded and jointed in cement		
	and sand (1:4) mortar, compacted and laid in stages of 100mm		
A	400mm thick superstructural walling	m ³	16
	200x400mm hollow block walling bedded and jointed in cement and sand (1:4) mortar, reinforcement with and including 25mm wide x 20 gauge hoop iron at every alternate course as described in:		
В	200mm thick superstructure walling including Veranda walling	m ²	64
	ACCESSORIES/SUNDRY ITEMS FOR BLOCK WALLING	* * * *	
С	Damp proof courses on surfaces not exceeding 200 mm wide	LM	64
	Sub-Total for Walling Element No.4 Concrete work		
	Concrete work		
A	Final tie beam	CM	11
	<u>Reinforcements</u>		
	High tensile, square twisted bar reinforcement to BS 4461; : including bends, hooks, tying wire, distance blocks and spacers		
С	8mm Bars	lm	208
D	10mm Bars	lm	256

	Sawn formwork to:		
Е	Sides of the final tie beam and the Entrance roof slab	SM	25
	Flooring	2101	23
	Hack and demolish existing floor finishes on including cement/sand		
F	screed and cart away debris	m^2	132
	cement and sand (1:3) screed, backing, beds etc		
	cement and sand (1.5) sereed, backing, beds etc		
G	20mm bed finished to receive Non-slip ceramic floor tiles (m.s)	m^2	132
	Non-slip ceramic floor tile		
	300X300 x 8mm thick coloured Ceramic Tiles laid to pattern and		
Н	shape	m^2	132
I	100 x 20mm skirting	ml	82
1	Sub-Total carried to summary	1111	02
	Element No.5 DOORS		
	Remove defective timber doors and store	o a ala	2
A	Remove defective timber doors and store	each	<u> </u>
	Affirm thick colid come flood decrete DCAFO accords		
	45mm thick solid core flush door to B.S 459: parts		
	faced both sides with 6mm mahogany veneered plywood		
	and lipped on all edges in hardwood, including all		
	<u>planted moulding. Complete with hinges and locks</u>		
D	50mm thick door overall size 1200x2150mm high	o o o lo	2
В		each	<u> </u>
	Sub-Total carried to summary		
	Element No.6 WINDOWS		
	supply and install aluminium casement windows complete with		
	opening accessories and permanent vents for the full width of		
	window as detailed including cuMBng and 4mm thick toughened		
	glazing fixing lugs to wood frame and pointing all round frames		
A	Window size 1500x1000mm high	each	2
	Sub-Total carried to summary	cacii	
	Element No.7 ROOFING		
	Element No.7 Roof Nu		
	Carefully remove the existing roof cover including fascia board,		
Α	gutter and downpipes and any damaged trusses and purlins, cart	m^2	132
	away debris make good disturbed surface to recive a new roof.		
	Corrugated Cement profiled roof sheets as manufactured by		
	Mabati Rolling mills Ltd or other equal & approved, including		
	selfdrilling screws fixed to timber purlins of rafters		
	Reinstall Roof covering not exceeding 35 degrees from the horizontal		
В	including all necessary fixtures use rafters with 100 x 50mm, for tie	2	122
B	beam use 150 x 50mm, purlins 75 x 50mm including rag bolted with	m^2	132
	bar		
	<u>uPVC</u>		
			55
С	200 mm x 10 mm white gloss uPVC Fascia board	m	33
С	200 mm x 10 mm white gloss uPVC Fascia board Rain water goods	m	33
С	 	m	33
	Rain water goods		
C D	Rain water goods 115 mm uPVC square gutter fixed to fascia boards with and including	m	15
	Rain water goods		

Е	Extra over gutter for stopped ends	each	2
	2.10 a c c c garder for cooppea chac	00011	
F	Ditto but for 100 mm diameter outlet	each	2
	<u>Downpipe</u>		
	100 mm diameter uPVC downpipe fixed to wall with and including	m	18
	holder butts at 500 mm centres	111	10
	Extra over downpipe for swanneck 1,200 mm long	each	1
	Sub-Total carried to summary		
	Element No.8 CEILING		
Δ .	Carefully remove damaged ceiling section and cart away the arising debris make good disturbed surfaces to receive new ceiling	m^2	132
к	Supply & fix 6mm thick chipboard ceiling boards including original	m ²	132
	color including verandah Sub-Total carried to summary		
	ELEMENT NO.9 FINISHES		
-	PLASTERING		
	12mm cement sand plaster, with steel trowelled finish, as		
	described to:-		
	Internal and External Sides of hallow block walls and concrete		5 40
A	surfaces	sm	512
	Allow for PCC vents		
В	allow fix and install pcc vent for decoration of verandah, also above	sm	15
	doors, window etc. as per drawing with upper copping	3111	13
	ELECTRICAL INSTALLATION AND SERVICES		
	<u>Lighting Fittings</u>		
	Supply and install following lighting fixtures with all accessories as per the specifications and drawings and complete with lamp		
	fitting and accessories of Engineer or approved make.		
Α	Type 4S - 4x18w surface mount flourescent light fitting	No	4
	Switches	INU	4
	5 Amps one gang one way switch	No	1
	5 Amps two gang one way switch	No	4
	Socket outlets		-
	Supply and installation of fused shuttered switched socket		
	outlet to comply with relevant BS standard (Clipsal, Orange,		
	<u>Crabtree/ Tenby/ABB or equivalent). Wiring (including supply</u>		
	of earth wire and all other material required) of above socket		
	outlet using approved type 2.5mm ² PVC/PVC copper cable and		
	2.5mm ² earth wire drawn through securely fixed concealed PVC		
	conduit in a ring circuit. Socket outlet points		
F	13 A twin sockets outlet	each	20
	Cables, Cable pathways and Conduits	Cucii	

	Supply, install, test and commission 450/750 volts 6491X cables		
	with all required accessories for proper installation and		
	operation including conduits, pipes(each cable in separate		
	conduit or pipe), cable lugs, ties etc. as shown on drawing, as		
	per the preamble, the specifications and supervision engineer's		
	<u>requirements.</u>		
	Supply, install and connect complete 1.5 sq. mm colour-coded SC		
G	cables to lighting points drawn in Concealed /surface 20mm HG PVC	M	165
	conduits, complete with draw boxes, switch boxes and other		
	necessary accessories.		
	Supply and install two compartment floor recessed metallic electrical		
Н	floor box with flap cover complete with lifting handle, cable cable	No	1
	flaps, as Crabtree Britmac or equal and approved		
I	3 speed box fan with 20 inch blades	No	5
_	Final cleaning inside /outside and area surrounding the site and land	1	4
0	scaping	lm	1
	Sub-Total carried to summary		
	ELEMENT NO.10 PAINTING		
	Prepare and apply one undercoat and two finishing coatsfirst grade plastic		
	emulsion paint as silk vinyl to:-		
A	Internal and External Sides of hallow block walls and concrete surfaces	m2	512
	Sub-Total carried to summary		
	Description of Work/Items		
Item	SUMMARY OF COMPONENT	Unit	Qntty
	Currency:		
	Currency: Project No:		
	Project No:		
	Project No: Project Title:		
	Project No: Project Title: Location:		
	Project No: Project Title: Location: Tender No:		
	Project No: Project Title: Location: Tender No: Tender Title:		
	Project No: Project Title: Location: Tender No: Tender Title: Original Issue:		
	Project No: Project Title: Location: Tender No: Tender Title: Original Issue: ELEMENT NO.1 GENERALS		
	Project No: Project Title: Location: Tender No: Tender Title: Original Issue:		
1	Project No: Project Title: Location: Tender No: Tender Title: Original Issue: ELEMENT NO.1 GENERALS		
1 2	Project No: Project Title: Location: Tender No: Tender Title: Original Issue: ELEMENT NO.1 GENERALS ELEMENT NO.2 DEMOLITIONS AND ALTERATIONS (All the site)		
	Project No: Project Title: Location: Tender No: Tender Title: Original Issue: ELEMENT NO.1 GENERALS ELEMENT NO.2 DEMOLITIONS AND ALTERATIONS (All the site) ELEMENT NO.3 WALLING		
2	Project No: Project Title: Location: Tender No: Tender Title: Original Issue: ELEMENT NO.1 GENERALS ELEMENT NO.2 DEMOLITIONS AND ALTERATIONS (All the site) ELEMENT NO.3 WALLING Element No.4 Concrete work		
2	Project No: Project Title: Location: Tender No: Tender Title: Original Issue: ELEMENT NO.1 GENERALS ELEMENT NO.2 DEMOLITIONS AND ALTERATIONS (All the site) ELEMENT NO.3 WALLING Element No.4 Concrete work Element No.5 DOORS		
2	Project No: Project Title: Location: Tender No: Tender Title: Original Issue: ELEMENT NO.1 GENERALS ELEMENT NO.2 DEMOLITIONS AND ALTERATIONS (All the site) ELEMENT NO.3 WALLING Element No.4 Concrete work Element No.5 DOORS Element No.6 WINDOWS		
2 3 4	Project No: Project Title: Location: Tender No: Tender Title: Original Issue: ELEMENT NO.1 GENERALS ELEMENT NO.2 DEMOLITIONS AND ALTERATIONS (All the site) ELEMENT NO.3 WALLING Element No.4 Concrete work Element No.5 DOORS Element No.6 WINDOWS Element No.7 ROOFING Element No.8 CEILING ELEMENT NO.9 FINISHES		
2 3 4	Project No: Project Title: Location: Tender No: Tender Title: Original Issue: ELEMENT NO.1 GENERALS ELEMENT NO.2 DEMOLITIONS AND ALTERATIONS (All the site) ELEMENT NO.3 WALLING Element No.4 Concrete work Element No.5 DOORS Element No.6 WINDOWS Element No.7 ROOFING Element No.8 CEILING ELEMENT NO.9 FINISHES ELEMENT NO.10 PAINTING		
2 3 4	Project No: Project Title: Location: Tender No: Tender Title: Original Issue: ELEMENT NO.1 GENERALS ELEMENT NO.2 DEMOLITIONS AND ALTERATIONS (All the site) ELEMENT NO.3 WALLING Element No.4 Concrete work Element No.5 DOORS Element No.6 WINDOWS Element No.7 ROOFING Element No.8 CEILING ELEMENT NO.9 FINISHES		
2 3 4 6 7	Project No: Project Title: Location: Tender No: Tender Title: Original Issue: ELEMENT NO.1 GENERALS ELEMENT NO.2 DEMOLITIONS AND ALTERATIONS (All the site) ELEMENT NO.3 WALLING Element No.4 Concrete work Element No.5 DOORS Element No.6 WINDOWS Element No.7 ROOFING Element No.8 CEILING ELEMENT NO.9 FINISHES ELEMENT NO.10 PAINTING		
2 3 4 6 7	Project No: Project Title: Location: Tender No: Tender Title: Original Issue: ELEMENT NO.1 GENERALS ELEMENT NO.2 DEMOLITIONS AND ALTERATIONS (All the site) ELEMENT NO.3 WALLING Element No.4 Concrete work Element No.5 DOORS Element No.6 WINDOWS Element No.7 ROOFING Element No.8 CEILING ELEMENT NO.9 FINISHES ELEMENT NO.10 PAINTING		
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Rate	Amount

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Rate	Amnt USD
	\$ -

 \$ -

Item	Description of Work/Items	Unit
	PROPOSED MARKA SCHOOL REHABILITATION BOQ	
	MARKA TOWN - SOUTHWEST STATE	
	SECTION 4: Toilets (1 Block of 4 toilets)	
	ELEMENT NO. 1 : SITE PREPARATION	
A	Pre-construction work, mobilisation activities	lumpsum
В	Post construction works and clean up.	lumpsum
	Sub-Total carried to summary	
	ELEMENT NO. 2 : SUBSTRUCTURES (PROVISIONAL)	
	Excavations including maintaining and supporting sides and keeping free from water, mud and fallen material	
A	Top soil excavation average 200mm deep	sm
	Excavate trench for foundation not exceeding 1.50 meters deep, starting	
В	from stripped levels	cm
	Planking and strutting	
С	Allow for keeping foundations free from water, mud, fallen materials, etc.	ls
	Disposal	
D	Return, fill and ram selected excavated material around foundations	cm
E	Load, wheel and cart deposit and spread surplus excavated material where directed on site at a distance not exceeding 100 meters	cm
	Hardcore or other approved filling, as described	
F	300mm thick well compacted hardcore filling blinded with 25mm thick quarry dust layer to receive surface bed	sm
	50mm thick Quarry dust blinding to surfaces of hardcore :rolled smooth to receive polytheen sheeting (m.s)	sm
	Anti-termite treatment	
G	Gladiator or equal and approved chemical anti-termite treatment, executed complete by an approved specialist under a ten-year guarantee, to surfaces of blinding	sm
	Damp-proof membrane	
I	1000 gauge polythene or other equal and approved damp-proof membrane, laid over blinded hardcore (m.s) with 300mm side and end laps (measured nett-allow for laps)	sm
	Sub-Total carried to summary	
	Element No.3 Concrete work	
	Plain concrete class 15 in:	
A	50mm blinding	cm
	Insitu concrete class 25/20 , vibrated and reinforced as described, in:	
	<u>BEAMS</u>	
В	Ground beam	cm
С	Ring beam 1 and 2	cm
D	Columns	cm
	SLABS	

Ditto: F Steps G 150mm thick top roof laid in bays including all necessary formwork Reinforcement, as described:-[PROVISIONAL] High yield square twisted reinforcement bars to B.S 4461 BEAMS GROUND BEAM Y12 (Nominal Diameter 12mm) bars as main bars, Cross-Sectional Area (113mm2), Mass per unit length (0.888kg/m) R8 (Nominal Diameter 8mm) bars as rings, Cross-Sectional Area	cm cm
G Reinforcement, as described:-[PROVISIONAL] High yield square twisted reinforcement bars to B.S 4461 BEAMS GROUND BEAM Y12 (Nominal Diameter 12mm) bars as main bars, Cross-Sectional Area (113mm2), Mass per unit length (0.888kg/m)	
Reinforcement, as described:-[PROVISIONAL] High yield square twisted reinforcement bars to B.S 4461 BEAMS GROUND BEAM Y12 (Nominal Diameter 12mm) bars as main bars, Cross-Sectional Area (113mm2), Mass per unit length (0.888kg/m)	cm
High yield square twisted reinforcement bars to B.S 4461 BEAMS GROUND BEAM Y12 (Nominal Diameter 12mm) bars as main bars, Cross-Sectional Area (113mm2), Mass per unit length (0.888kg/m)	
BEAMS GROUND BEAM Y12 (Nominal Diameter 12mm) bars as main bars, Cross-Sectional Area (113mm2), Mass per unit length (0.888kg/m)	
H GROUND BEAM Y12 (Nominal Diameter 12mm) bars as main bars, Cross-Sectional Area (113mm2), Mass per unit length (0.888kg/m)	
H Y12 (Nominal Diameter 12mm) bars as main bars, Cross-Sectional Area (113mm2), Mass per unit length (0.888kg/m)	
(113mm2), Mass per unit length (0.888kg/m)	
	kg
I (50.3mm2), Mass per unit length (0.395kg/m)	kg
RING BEAM 1	
J <u>Ditto for Y12 as main bars</u>	kg
K <u>Ditto for R8 as rings</u>	kg
Reference A142 mesh 200 x 200 mm , weight 2.22 kgs per square meter (measured net - no allowance made for laps (inclunding bends, tying wire and distance blocks)	
L Fabric ref. A142 weighing 2.22kg/ sq.metre, in surface bed	sm
Sawn formwork as described to:-	
M To edge of floor slab	sm
N Ditto to sides of steps	sm
Sub-Total carried to summary	
ELEMENT NO. 4: WALLING	
SUB-STRUCTURE WALLING	
Approved compacted hardcore fill bedded and jointed in cement	
sand mortar (1:4) 400mm thick rubble stone foundation walling	
A 400mm thick rubble stone foundation waiting	cm
200x400mm hollow block walling bedded and jointed in cement and	
sand (1:4) mortar, reinforcement with and including 25mm wide x 20 gauge hoop iron at every alternate course as described in:	
B 200 mm thick reinforced in every third course	sm
Horizontal Damp Proof Course:one layer of 3-ply bituminous felt or other equal approved (measured nett-allow for laps)	
200mm wide; B.S. 743 Type A bitumen hessian base 150 mm laps (no	
C allowance made for laps); horizontal, 1 no. layer, bedded in cement sand (1:3) mortar	sm
Sub-Total carried to summary	
ELEMENT NO. 5 : FINISHES	
Floor Finishes	
Cement and sand (1:3) screeds, backings, beds etc	
25mm Thick cement/sand (1:4) screed (measured separately)	sm
A A A A A A A A A A A A A A A A A A A	

	15 mm cement and sand (1:3) render, finished with woodfloat to:-	
F	Concrete or masonry surfaces internally and externally Painting	sm
	Fill uneven surfaces with stucco filler to approval and apply two	
	coats soft white external textured paint to:	
G	Plastered and rendered surfaces	sm
	Prepare and apply two undercoats of brilliant white emulsion paint	
	(RAL Code 9001) and two finishing coats of first quality brilliant	
	white Silk Vinyl emulsion paint (RAL Code 9001) to:	
I	Plastered surfaces internally and externally	sm
J	Vent grills	sm
	Sub-Total carried to summary	
	ELEMENT NO. 6: PLUMBING INSTALLATIONS	
	PIPING	
	Supply, deliver and install pipes, tubing and fittings as described and	
	shown on the drawings. The pipes shall be PPR PN 20 pipes and all	
	conforming to the current European standards for PPR installations	
	and to the Engineers approval, pipe jointing shall be by polyfusion or	
	use of electric coupling and to manufacturer's printed instructions.	
	Rates must allow for all Metal/plastic threaded adaptors where	
	required, valves, unions, sockets, sliding and fixed joints, support	
	raceways, isolating sheaths, elastic material, expansion arms and	
	bends, crossovers, couplings, clippings, connectors, joints and for the	
	connection of sanitary fixtures etc. as required in the running	
	lengths of pipework and also where necessary, for pipe fixing clips,	
	holder bats plugged and screwed for the proper and satisfactory	
	functioning of the system. The pipes will be pressure tested before	
	functioning of the system. The pipes will be pressure tested before the plastering of wall commences and as per the manufacturers	
	functioning of the system. The pipes will be pressure tested before the plastering of wall commences and as per the manufacturers recommended testing procedures. The sizes indicated are the	
	the plastering of wall commences and as per the manufacturers recommended testing procedures. The sizes indicated are the	
A	the plastering of wall commences and as per the manufacturers recommended testing procedures. The sizes indicated are the minimum bore sizes.	ls
A	the plastering of wall commences and as per the manufacturers recommended testing procedures. The sizes indicated are the minimum bore sizes. Supply and install heavy duty PPR pipes including all connections	ls
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A	the plastering of wall commences and as per the manufacturers recommended testing procedures. The sizes indicated are the minimum bore sizes. Supply and install heavy duty PPR pipes including all connections SANITARY INSTALLATIONS Sanitary appliances complete with all the connections to services, waste, jointing to supply overflows and plugging and scewing to the	ls
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	the plastering of wall commences and as per the manufacturers recommended testing procedures. The sizes indicated are the minimum bore sizes. Supply and install heavy duty PPR pipes including all connections SANITARY INSTALLATIONS Sanitary appliances complete with all the connections to services, waste, jointing to supply overflows and plugging and scewing to the floors. Where trade names are mentioned below, the reference is intended to be as a guide to the type of fitting. Pedestal wash hand basin in white vitreous china size 500x400 mm complete with 'Aztec' chromed taps and handles, a 32mm diameter chrome plated pop-up waste and a 32mm Caradon Terrain' plastic bottle trap. Wash hand basin to be as 'Twyford Galerie Design' or equal and approved Supply and fix white glazed fireclay Oriental squatting W.C. suite (HARSA Type), or equivalent complete with plastic double action flushing	
В	the plastering of wall commences and as per the manufacturers recommended testing procedures. The sizes indicated are the minimum bore sizes. Supply and install heavy duty PPR pipes including all connections SANITARY INSTALLATIONS Sanitary appliances complete with all the connections to services, waste, jointing to supply overflows and plugging and scewing to the floors. Where trade names are mentioned below, the reference is intended to be as a guide to the type of fitting. Pedestal wash hand basin in white vitreous china size 500x400 mm complete with 'Aztec' chromed taps and handles, a 32mm diameter chrome plated pop-up waste and a 32mm Caradon Terrain' plastic bottle trap. Wash hand basin to be as 'Twyford Galerie Design' or equal and approved Supply and fix white glazed fireclay Oriental squatting W.C. suite (HARSA Type), or equivalent complete with plastic double action flushing cistern, and fixed chromium plated tap 1/2", including all water supply	No
В	the plastering of wall commences and as per the manufacturers recommended testing procedures. The sizes indicated are the minimum bore sizes. Supply and install heavy duty PPR pipes including all connections SANITARY INSTALLATIONS Sanitary appliances complete with all the connections to services, waste, jointing to supply overflows and plugging and scewing to the floors. Where trade names are mentioned below, the reference is intended to be as a guide to the type of fitting. Pedestal wash hand basin in white vitreous china size 500x400 mm complete with 'Aztec' chromed taps and handles, a 32mm diameter chrome plated pop-up waste and a 32mm Caradon Terrain' plastic bottle trap. Wash hand basin to be as 'Twyford Galerie Design' or equal and approved Supply and fix white glazed fireclay Oriental squatting W.C. suite (HARSA Type), or equivalent complete with plastic double action flushing cistern, and fixed chromium plated tap 1/2", including all water supply pipes ½", flushing mechanism, angle valves, 4" diam PVC drainage pipe to	
В	the plastering of wall commences and as per the manufacturers recommended testing procedures. The sizes indicated are the minimum bore sizes. Supply and install heavy duty PPR pipes including all connections SANITARY INSTALLATIONS Sanitary appliances complete with all the connections to services, waste, jointing to supply overflows and plugging and scewing to the floors. Where trade names are mentioned below, the reference is intended to be as a guide to the type of fitting. Pedestal wash hand basin in white vitreous china size 500x400 mm complete with 'Aztec' chromed taps and handles, a 32mm diameter chrome plated pop-up waste and a 32mm Caradon Terrain' plastic bottle trap. Wash hand basin to be as 'Twyford Galerie Design' or equal and approved Supply and fix white glazed fireclay Oriental squatting W.C. suite (HARSA Type), or equivalent complete with plastic double action flushing cistern, and fixed chromium plated tap 1/2", including all water supply	No
В	the plastering of wall commences and as per the manufacturers recommended testing procedures. The sizes indicated are the minimum bore sizes. Supply and install heavy duty PPR pipes including all connections SANITARY INSTALLATIONS Sanitary appliances complete with all the connections to services, waste, jointing to supply overflows and plugging and scewing to the floors. Where trade names are mentioned below, the reference is intended to be as a guide to the type of fitting. Pedestal wash hand basin in white vitreous china size 500x400 mm complete with 'Aztec' chromed taps and handles, a 32mm diameter chrome plated pop-up waste and a 32mm Caradon Terrain' plastic bottle trap. Wash hand basin to be as 'Twyford Galerie Design' or equal and approved Supply and fix white glazed fireclay Oriental squatting W.C. suite (HARSA Type), or equivalent complete with plastic double action flushing cistern, and fixed chromium plated tap 1/2", including all water supply pipes ½", flushing mechanism, angle valves, 4" diam PVC drainage pipe to	No
В	the plastering of wall commences and as per the manufacturers recommended testing procedures. The sizes indicated are the minimum bore sizes. Supply and install heavy duty PPR pipes including all connections SANITARY INSTALLATIONS Sanitary appliances complete with all the connections to services, waste, jointing to supply overflows and plugging and scewing to the floors. Where trade names are mentioned below, the reference is intended to be as a guide to the type of fitting. Pedestal wash hand basin in white vitreous china size 500x400 mm complete with 'Aztec' chromed taps and handles, a 32mm diameter chrome plated pop-up waste and a 32mm Caradon Terrain' plastic bottle trap. Wash hand basin to be as 'Twyford Galerie Design' or equal and approved Supply and fix white glazed fireclay Oriental squatting W.C. suite (HARSA Type), or equivalent complete with plastic double action flushing cistern, and fixed chromium plated tap 1/2", including all water supply pipes ½", flushing mechanism, angle valves, 4" diam PVC drainage pipe to the nearest manhole as specification and drawings. as specification and	No

E	Wall-mounted push-button soap dispenser complete with initial charge and mounting brackets. Soap dispenser to be as 'Star mix' or equal and approved	No
F	6 mm thick polished beveled plate glass mirror size 610x610 mm on foam and 6 mm plywood timber backing in hard wood timber framing fixed on wall with dome headed brass screws	No
G	Supply and fix water storage plastic tank 1.5 m3 capacity with locks for cover, with approved type not less than 32 kg weight, complete with lockable cover, 1 inch diam. automatic float valve, overflow pipe (1"diam) and drip tray, with all connections for rising main and distribution pipe work and stop valves 1" with all accessories as specification and drawings, including painting tanks with white oil paint.	ls
Н	Allow for all all connections, testing and commissioning of the sanitary fittings and accessories to the entire satisfaction of the Engineer.	Ls
I	Supply and Install a standby booster pump with capacity = 5 m3/hr and head equal 30 m. The item includes all the required fittings & equipments (valves, T, elbows, non return valves,. etc.), also the item includes steel box protection with lock, automatic operation device and connecting to electrical source with needed cables and all as Representative Engineer instructions as specification and drawings	No
J	Supply & install, water meter device, type (ARAD) or equivalent 1", with gate valve 1" inch diameter, jointing, and connection to the existing water supply pipe 4" including all required fittings and accessories and as specification and drawings.	No
	Sub-Total carried to summary	
	ELEMENT NO. 7: OPENINGS	
	WINDOWS	
	Extruded anodised aluminium sliding frame 80x50mm mosquito netting and fabricated aluminium burglar proof grill with 6mm thick glass with blue anti-glare film.	
Α	Overall size 800 x 600mm high	No
В	Precast concrete window cill size 260 x 50mm Thick sunk - weathered and throated and bedded and jointed in cement sand mortar	No
	VENT BLOCKS	
С	800mm x 600mm	No
	<u>DOORS</u>	
	45mm thick solid core flush door to B.S 459: parts faced both	
	sides with 6mm mahogany veneered plywood and lipped on	
	all edges in hardwood, including all planted moulding. Complete with hinges and locks	
D	50mm thick door overall size 800x2150mm high	No
	Supply delivery and fix the following ironmongery with matching screws	
E	100mm heavy duty butt hinges	No

F	3 lever mortice lock as Union 2277 complete with Union 2277 683 -06 -2 brass lever furniture	No
	Sub-Total carried to summary	
	ELEMENT NO. 8: SEPTIC TANK & SOAKPIT	
	The cost bid for the Septic Tank should be a lumpsum to meet the	
	technical description presented below of the design drawings, and	
	include all preparation, construction, finishing components:	
	Pre-construction work, mobilisation activities, excavation, compaction,	
	concrete works, superstructure, walls - hollow blocks of 1500m height,	
A	including plastering and painting, internal and external finishing, piping	Ls
A	works including fittings, exactly as per the design drawings and the	LS
	specifications, descriptions on the design drawings.	
	Sub-Total carried to summary	
	Description of Work/Items	
Item	SUMMARY OF COMPONENT	Unit
Ttem	Currency:	Oint
	Project No:	
	Project Title:	
	Location:	
	Tender No:	
	Tender Title:	
	Original Issue:	
	ELEMENT NO. 1 : SITE PREPARATION	
	ELEMENT NO. 2 : SUBSTRUCTURES (PROVISIONAL)	
1	Element No.3 Concrete work	
2	ELEMENT NO. 4: WALLING	
3	ELEMENT NO. 5 : FINISHES	
4	ELEMENT NO. 6: PLUMBING INSTALLATIONS	
	ELEMENT NO. 7: OPENINGS	
6	ELEMENT NO. 8 : SEPTIC TANK & SOAKPIT	
8	Grand Total	

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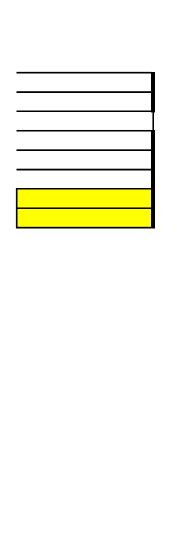
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Item	Description of Work/Items	Unit	Qntty	Rate
	PROPOSED MARKA SCHOOL REHABILITATION BOQ			
	MARKA TOWN - SOUTHWEST STATE			
	MARKETOWN SOUTHWEST STATE			
	SECTION 5: SPECTATOR STANDS			
	Earthwork			
Α	Demolishing work	ls	1	
	Excavation (any soil type) for foundation. This item			
D	includes all excavations, disposal and temporary support		4.00	
В	or shoring if needed. See drawing and schedule for	cm	4.00	
	details.			
	Blinding & Hardcore filling			
С	300mm thick murram blinding over surface of levelled Hardcore beds.	cm	35.00	
	150mm thick bed of quarry stones or equivalent material,			
	well compacted and blinded with fine aggregate			
D	(hardcore with gravel blinding, well compacted to	cm	18.00	
	prepare for flooring)			
	Sub-Total carried to summary			
	Masonary walling and Concrete work			
	400mm thick natural stone rubble stone bedded and			
	jointed in cement and sand (1:4) mortar, compacted and			
	laid in stages of 100mm			
A	400mm thick superstructural walling	cm	19.00	
11	Concrete	CIII	13.00	
В	Plain concrete class 15/40 OR mix (1:4:8)	cm	8.00	
D	Sub-Total carried to summary	CITI	0.00	
	FINISHES			
	External Wall finishes			
	Cement and sand (1:4) render: on hollow block: steel			
	trowel finished: to			
Α	15mm thick externally wall	SM	38.00	
	Prepare surfaces and apply undercoat and two			
	finishing coats first grade emulsion paint on hollow			
	concrete wall surfaces: to			
В	Masonary wall: externally	SM	38.00	
	Floor finishes			
С	Cement and sand (1:4) screed: to floors: in	sm	46.00	
D	Allow for Steel railing blustrades at the sides	LS	1.00	
14	Sub-Total carried to summary	1.1 *1	0.11	Det
Item	Description of Work/Items	Unit	Qntty	Rate
	SUMMARY OF COMPONENT			
	Currency:			
	Project No:		+	
	Project Title: Location:		 	
	Tender No:		 	
	Tender No. Tender Title:		 	
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	Original Issue:			
	Summary for Spectator Stand 1			
1	Earthwork			
2	Masonary walling and Concrete work			
3	FINISHES			
	Total for Spectator Stand 1			
Total for Two No. Spectator Stands 2NO.				

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Item	Description of Work/Items	Unit
	PROPOSED MARKA SCHOOL REHABILITATION BOQ MARKA TOWN - SOUTHWEST STATE	
	SECTION 6 : Footbal field	
	Earth work and Demolishing work	
A	Remove and destroy all cement screed on the field and level it with drainage system provided. Substrate must be strong, free of loose materials, dust, grease etc.	sm
В	Apply 150mm thick bed of quarry stones or equivalent material, well compacted and blinded with fine aggregate to receive concrete (hardcore with gravel blinding, well compacted to prepare for flooring)	cm
С	Apply 50mm thick murram blinding over surface of levelled Hardcore beds.	cm
D	50MM thick mass concrete of mix 1:2:4 minimum cement content 360kg/m3 finished smoothly with cement screed and levelled. The surface should not be sleepy for the players	cm
Е	Apply 40mm Cement Screed over the surface of the field	cm
	GOAL POSTS	
F	Supply and fix struts/ braces of 100mm dia. CHS section of 5mm thick, with lock on synthetic net hooks, sockets caps, and wedgets bolted thoughout and painted with gloss white paint to finish; dimensios to FIFA standard and Engineers approval	No
	CODNED DELINIATORS	
G	CORNER DELINATORS Supply corner markers for 4 sides with sockets for fitting at 4 corners of the pitch comprising grouting of 25mm dia. Pipe. dimensios to FIFA standard and Engineers approval	No.
Н	Allow provisional sum marking of the field	ls
	Sub-Total carried to summary	
	Description of Work/Items	
Item	SUMMARY OF COMPONENT	Unit
	Currency:	
	Project No: Project Title:	
	Location:	
	Tender No:	
	Tender Title:	
	Original Issue:	
	CECTION C. F. all J.C. 11	
1	SECTION 6 : Footbal field Grand Total	
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Item	Item	Description of Work/Items	Unit	Quantity	Rate	Amount
		PROPOSED MARKA SCHOOL REHABILITATION BOQ				
		MARKA TOWN - SOUTHWEST STATE				
		SECTION 7: FENCE WALL				
		Site Prepration				
		Cleaning for site of all bushes, grab up roots and burn their arising also cleance the existing demolished wall	sm	600.00		
		Sub-Total carried to summary				
		<u>WALLING</u>				
	A	Repair the wall cracks using sand/cement mortar mix ratio 1:4 and Y12 steel bars inserted into the wall perpendicular to the cracks for internal and external	ls	1		
		400mm thick natural stone rubble foundation bedded and jointed in cement and sand (1:4) mortar, compacted and laid in stages of 100mm				
Α	В	400mm thick superstructure walling	cm	5.00		
D	С	PCC Coping above masonry walling	LM	90.00		
		Sub-Total for Walling				
		FINISHES				
		Use masonry chisel for plaster removal and test the condition of the				
	A	wall for weakness. Remove all old plaster with masonry chisel starting from cracked sections.	sm	540.00		
		PLASTERED/RENDERED/ROUGHCAST COATINGS				
		Cement-sand 1:3 to:-				
Α	В	15 mm thick plaster wood floated hard both ways	M2	540.00		
		Painting				
		Prepare and apply three coats first quality silk vinyl emulsion pain on:				
D	С	Plastered Surfaces internally and externally	M2	540.00		
		Sub-Total for Finishes				
		Gates				
A		Supply and fix double leaf steel gate size 5000x 2100mm high with small pedestrian door made from 3mm thick steel plate welded on both sides of the frame. Frame as follows: 75x50x3mm thick RHS external members and 25mm SHS 3mm thick secondary members, fixed onto the concrete columns using heavy duty steel pin hinges; with all fastening accessories including all cutting welding, grinding and priming with one coat of grey oxide before fixing. The gate should also have peep holes of not more that 25mm dia with a slilding door. It should also have 2 locking mechanisms, top and bottom.	No	1		
		Sub-Total for Gates				
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Item		Description of Work/Items SUMMARY OF COMPONENT	Unit	Qntty	Rate	Amnt USD
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		Project No:				
	1	Project Title: Location:				
		Tender No:				
		Tender Title:				
	1	Original Issue:				
	1	Summary of Garbaharey Fence	u wall		l	
2		Site Prepration			\$	-
3		WALLING			\$	<u>-</u>
6		FINISHES Gates			\$	<u> </u>
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	Grand Total for Fence Wall		\$	-

ITEM NO.	DESCRIPTION	PAGE	AMOUNT (US\$)
	PROPOSED MARKA SCHOOL REHABILITATION BOO MARKA TOWN - SOUTHWEST STATE GRAND SUMMARY		
1 2 3 4 5 6 7	SECTION 1: PRELIMINARIES AND GENERAL DESCRIPTIONS SECTION 2: CLASSROOMS SECTION 3: CAFETERIA SECTION 4: Toilets (1 Block of 4 toilets) SECTION 5: SPECTATOR STANDS SECTION 6: Footbal field SECTION 7: FENCE WALL TOTAL AMOUNT CARRIED TO FORM OF TENDER	US\$	
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	Tel No:		
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